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**MEMORANDUM TO THE MAYOR AND MEMBERS OF CITY COUNCIL**

**FROM:** Daryl Hennessy  
City Manager

**SUBJECT:** City Manager Report

**DATE:** January 7, 2026

**ADMINISTRATION**

**Request for Proposals (RFP).** City staff are finalizing two RFPs for public release later this month. The City will be seeking qualified professionals interested in providing advocacy and photo/video production services. The RFPs anticipate the option of selecting multiple individuals/firms to provide such professional services based on the qualifications of the proposers and the City's needs.

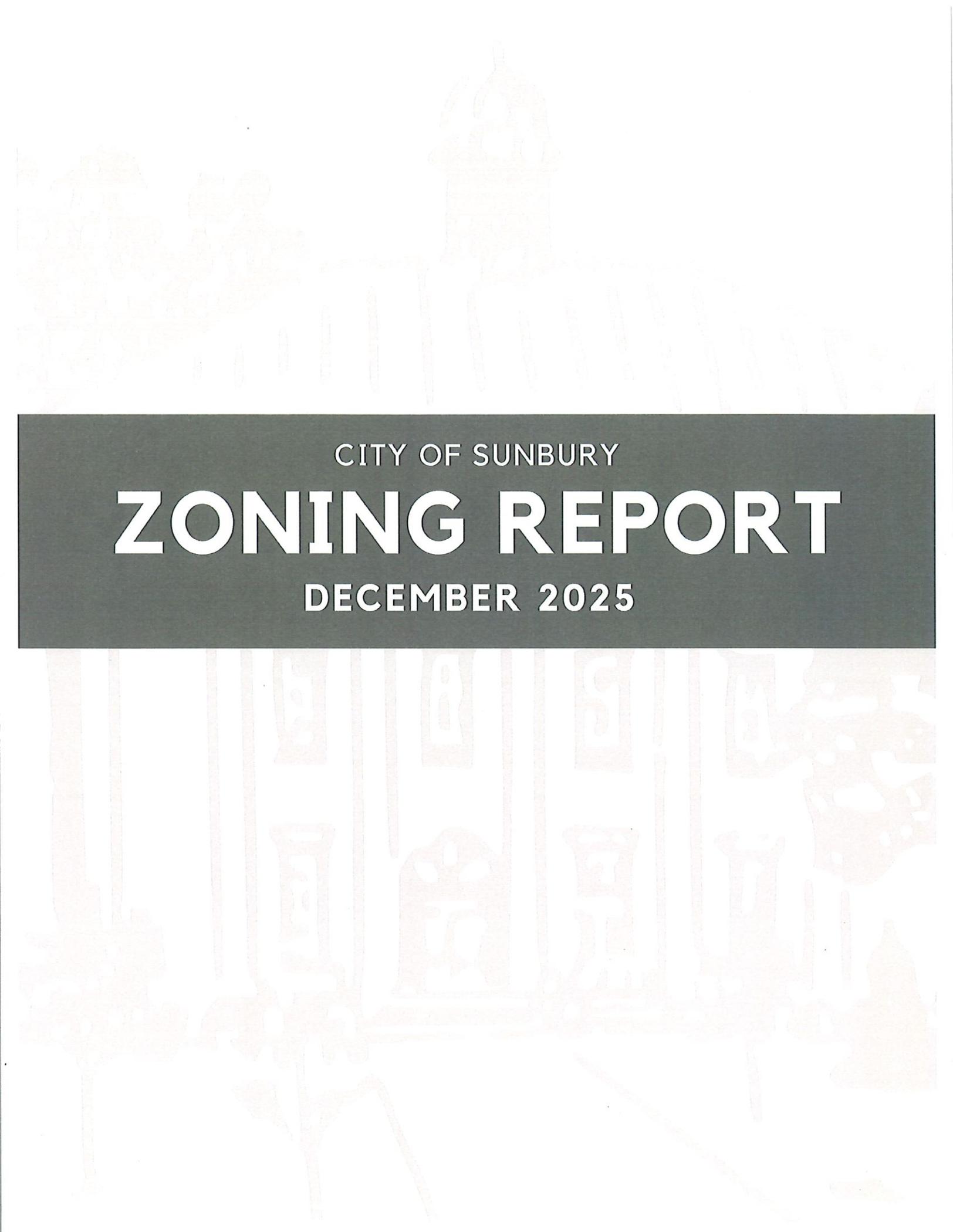
**Municipal Building Renovations.** Progress continues to be made on renovations to the lower level of the municipal building. Sewer repairs and unanticipated building permit requirements have delayed the project completion by approximately one month. Substantial completion is now expected to be January 31, 2026.

**COMMUNITY AND ECONOMIC DEVELOPMENT**

**2025 Zoning Report.** Attached are select pages from the final zoning report for 2025. A total of 124 zoning certificates were issued for 271 new housing units. Nearly 43.2% of certificates were issued for new single family housing (117 units) with the remaining 154 units attributed to the Northport Place development near Africa Road.

**Eastern Delaware County Joint Recreation District.** The total number of responses to the initial community center survey is now up to nearly 1,400 after a surge of responses were received over the holiday break. Pizzuti Solutions is planning to host another community meeting in mid-February to summarize the results of the initial community survey and conduct an interactive session focused on community center programming and site location criteria. Broader promotion of the community meeting will begin after confirming location details and further discussion with the JRD Board.

Attachment

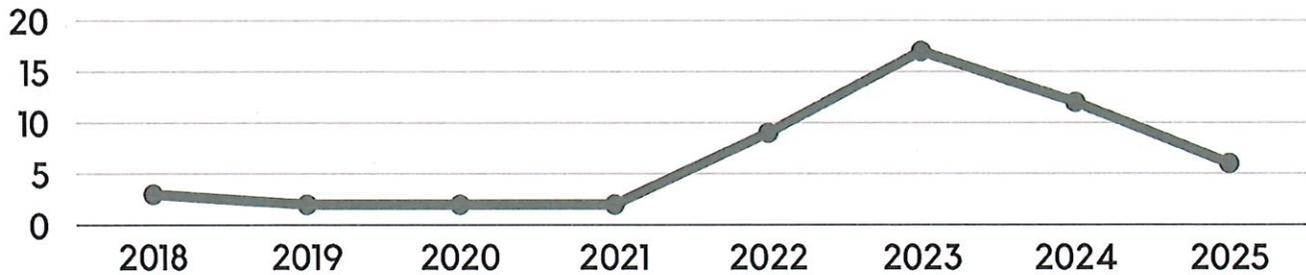


CITY OF SUNBURY  
**ZONING REPORT**  
DECEMBER 2025

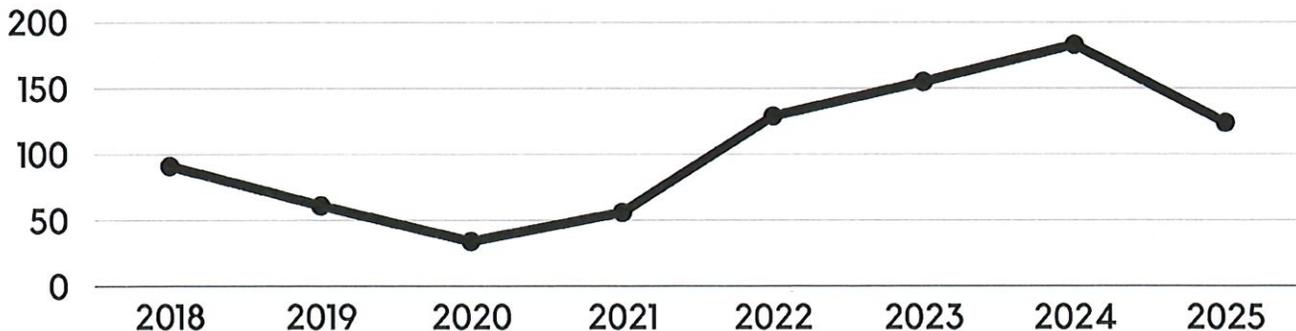
# NEW BUILDS, HISTORICAL TRENDS

MONTH	YEAR							
	2018	2019	2020	2021	2022	2023	2024	2025
JANUARY	4	3	4	5	5	6	5	12
FEBRUARY	11	10	0	7	8	15	14	10
MARCH	6	5	5	3	5	14	25	8
APRIL	13	9	5	2	3	15	15	11
MAY	11	9	3	8	12	10	16	11
JUNE	7	7	0	7	12	11	22	9
JULY	7	3	4	5	6	35	7	23
AUGUST	12	7	3	2	23	12	27	5
SEPTEMBER	5	3	3	6	18	2	16	7
OCTOBER	6	1	4	5	13	6	14	5
NOVEMBER	6	2	1	4	15	12	10	17
DECEMBER	3	2	2	2	9	17	12	6
<b>TO DATE</b>	91	61	34	56	129	155	183	124
<b>TOTAL</b>	91	61	34	56	129	155	183	124

● New Build Permits in December



● New Build Permits January - December



# SUBDIVISION BUILDOUT

SUBDIVISION	ZONING CERTIFICATE (PERMITTED TO BUILD)	OCCUPANCY CERTIFICATE (PERMITTED TO OCCUPY)
<b>ROLLING HILLS</b>	<b>99%</b> 148/150 UNITS	<b>99%</b> 148/150 UNITS
<b>PRICE PONDS</b>	<b>57%</b> 190/336 UNITS	<b>51%</b> 171/336 UNITS
<b>MAGNOLIA PARK</b>	<b>97%</b> 36/37 UNITS	<b>65%</b> 24/37 UNITS
<b>EAGLE CREEK</b>	<b>41%</b> 94/232 UNITS	<b>22%</b> 51/232 UNITS
<b>RAVINES AT MEADOW</b>	<b>42%</b> 312/744 UNITS	<b>42%</b> 312/744 UNITS
<b>MEADOWS AT SUNBURY APT</b>	<b>100%</b> 120/120 UNITS	<b>25%</b> 30/120 UNITS
<b>NORTHPORT PLACE</b>	<b>100%</b> 154/154 UNITS	<b>0%</b> 0/154 UNITS
<b>EAGLE CREEK HIGHLANDS</b>	<b>0%</b> 0/239 UNITS	<b>0%</b> 0/239 UNITS
<b>KINTNER CROSSING</b>	<b>0%</b> 0/188 UNITS	<b>0%</b> 0/188 UNITS
<b>WOODLAND LAKE</b>	<b>0%</b> 0/451 UNITS	<b>0%</b> 0/451 UNITS

# UNITS IN DEVELOPMENT

	December 2025	Year to Date
Single Family	6	117
Multi-Family	0	154
Total	6	271