



STAFF REPORT TO THE PLANNING AND ZONING COMMISSION

FROM: Alex Nelisse-Blankenship, Senior Planner / Zoning Officer

CC: Vic Whitney, Legal Counsel; Daryl Hennessy, City Administrator;
Carla Odebralski, Director of Planning and Engineering

SUBJECT: Major Commercial Site Plan – United Dairy Farmers, 303 W Granville St.

DATE: December 17th, 2025

Action Being Requested

The applicant is requesting approval of a major commercial site plan, located at 303 W Granville Street on parcel #41741202001002, as shown in Figure 1. The City of Sunbury process provides for review and recommendation by the Planning and Zoning Commission, with final approval coming from City Council.

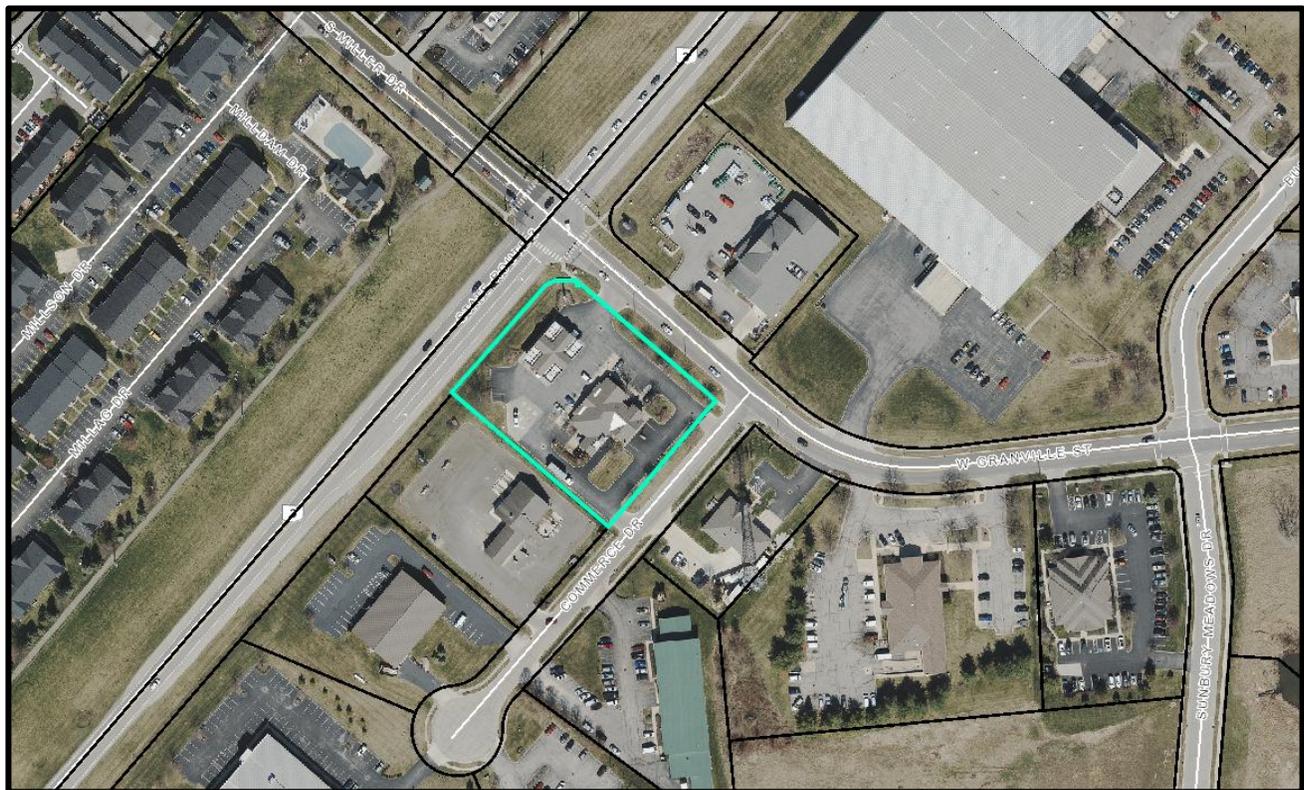


Figure 1: Property Location



Project Summary

The applicant has applied for the approval of a commercial site plan for the construction of a gas station, to be located at 303 W Granville Street. This parcel is 1.383 acres and is currently zoned Planned Industrial (PID). The parcel's current use will remain the same, being a gas station.

The intention of the applicant is to demolish the existing site and build the commercial site plan that is being proposed. This would update the gas station to the current architectural style and build of the brand (United Dairy Farmers) while keeping the site use and products the same. The proposed site plan includes a 6,579 square foot building that is twenty-four (24) feet tall, six (6) fuel pumps, and thirty (30) parking spaces, two of which are accessible spaces. Additionally, the site plan proposes a new sidewalk connection on the southeast side, connecting the existing dead end along Commerce Drive to the sidewalk along W Granville Street. The site has three (3) access points, the first being a right-in/right-out located off W Granville Street, and the other two being full access points off of Commerce Drive on the southeast side of the site, as shown in the site plan below.

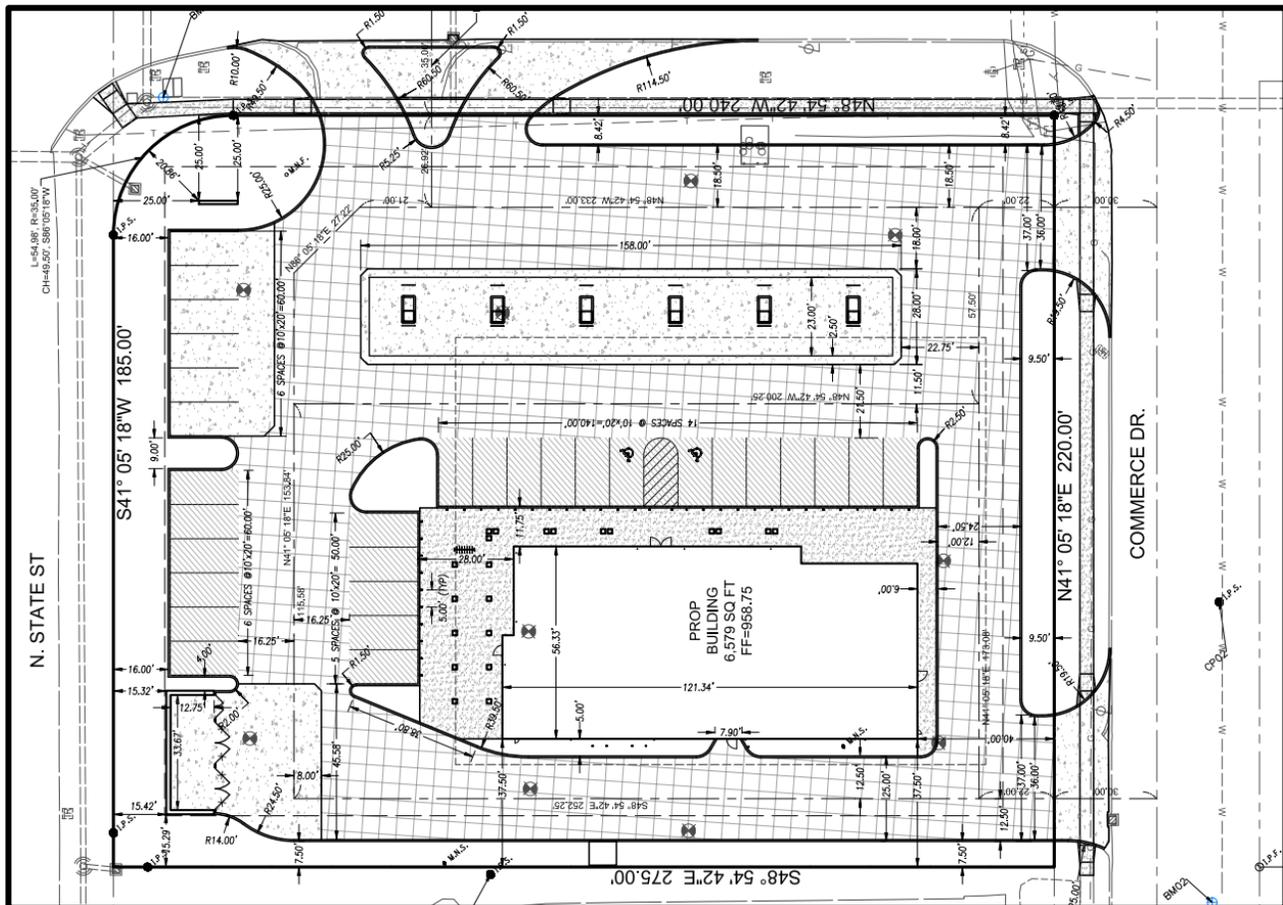


Figure 2: Site Plan



The site includes a dumpster and associated enclosure, which will be located in the southwest corner. The enclosure will use brick veneer and cast stone base panel, as shown in the elevation drawing below.

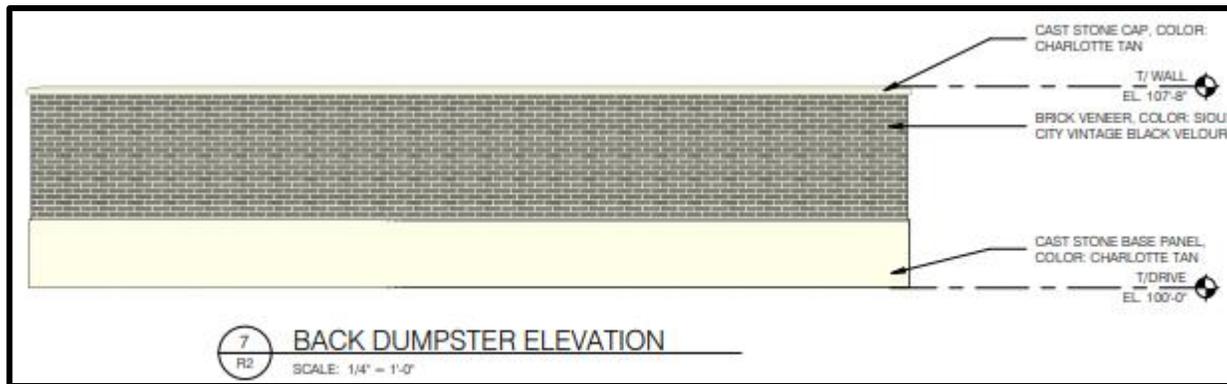


Figure 3: Dumpster Elevation from the West

The brick veneer and the cast stone will be used consistently throughout the project, being in the dumpster enclosure, the building, and the gas pump canopy. In addition, alumaboard will be used on the building and the gas pump canopy in two colors, Colony Maple and Serious Grey, as seen in Figure 4 below.



Figure 4: Front Building Elevation, alumaboard use shown with green arrows

The surrounding parcel uses and zoning districts are as follows:

- Northeast: Ace Hardware, Retail, Planned Commercial District (PCD)
- Northwest: Sunbury Commons / LC, Multi-Family Residential, Planned Residence District (PRD)
- Southeast: Sun Classics Car Wash, Commercial Service, Planned Industrial District (PID)
- Southwest: Delaware County EMS Station 2, Civic Use, Planned Industrial District (PID)



The landscape plan includes landscaping along every side of the site plan, including thirteen (13) trees among other plants in mulched beds along the border of the site and in the parking islands, and includes landscape screening of the dumpster in the southwest corner, as seen below.

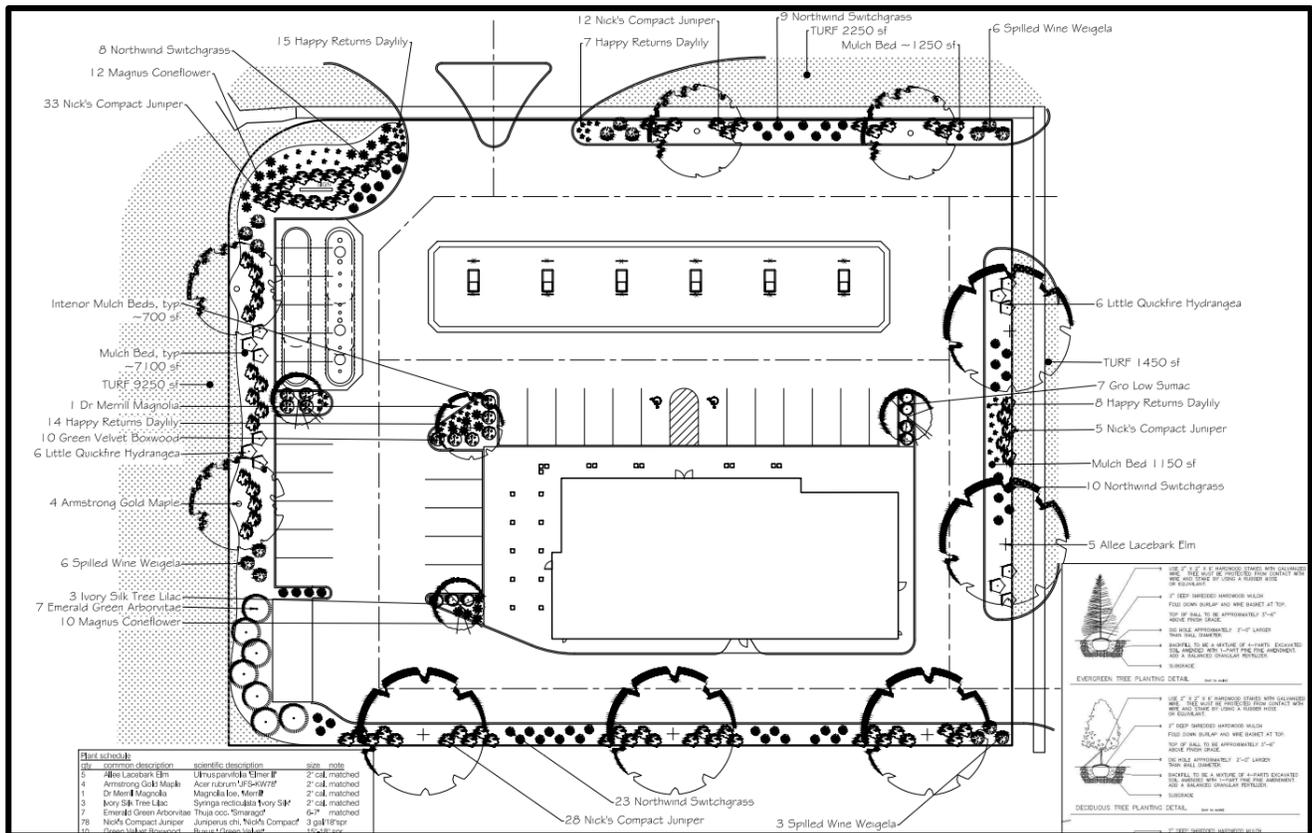


Figure 5: Landscape Plan

Submittal Documents Provided

The applicant has submitted all necessary items per our zoning ordinances, including:

- Completed application
- Legal description of the property
- Civil drawings of the site and project
- Landscape plan of the site
- Elevations of the proposed building, canopy, and dumpster enclosure
- Photometric plan of the site
- Abutting property owner's list
- Underground storage tank closure procedure letter
- Signage package



Staff Comments

1. This application is for the approval of a major commercial site plan, which the Planning and Zoning Commission can recommend for approval to City Council. City Council will have three (3) readings before voting on this item. This process does not require a public hearing at the Planning Commission or Council level.
2. The site plan complies with most of the setback requirements, with a couple exceptions.
 - a. Our zoning ordinances state that there needs to be an area of 20' for a side yard that cannot be used for accessory buildings, outdoor storage, or parking, and must be paved with a minimum of 8" of firmly packed crushed stone. As this is a Planned District, I looked at the adjacent parcels and other parcels in this district, none of which meet this requirement. I believe that this restriction was removed from the zoning text in the planned development text, but we cannot verify as we were unable to locate the text prior to this meeting.
 - b. There is a requirement for the building to be setback 65' to the adjacent road or street right-of-way. On the southeast side of the site along Commerce Drive, the distance from the proposed building to the right-of-way of the adjacent road is around 55'. There is one other example of a building setback being less than 65' on Commerce Drive, which is the EMS Station, shown below with a setback of about 50'.



Figure 6: Distance between the street/road right-of-way and EMS Station 2



3. The building materials used in the site plan appear to comply with those required in our zoning code. The architectural considerations section of our zoning code states the following:
 - a. “Exterior walls shall utilize natural materials on the sides facing a public street, visible from a public street, visible from a residential district for all Industrial Districts... Acceptable natural materials include brick, wood, stone, cultured stone, architectural grade concrete block (i.e., split-face block), stucco, and efis or cementitious siding.”
The site plan uses brick and stone throughout, but also includes alumaboard, which is not a natural material, but is typically considered a high-quality architectural material.
4. The site plan complies with our screening requirements. The dumpster screening is required to be a minimum 6’ wall, fence, or shrubbery, and the plan shows both a 7’- 8” wall surrounding the dumpster and arborvitae and switchgrass screening the wall itself from State Route 3. In addition, the off-street parking is screened from all public streets per the landscape plan.
5. Using the following calculations, the total required parking spaces for this site would be thirty-six (36) plus the number of employees. The site plan shows thirty (30) spaces, which would not meet the minimum requirement.
 - a. Gas Stations: One (1) parking space per two (2) gas pumps, plus one (1) per employee
 - i. Six (6) pumps = 3 parking spaces
 - b. Retail Establishments: One (1) space per 200 square feet
 - i. 6,579 square feet = 33 parking spaces
6. Comprehensive Plan
 - a. The 2016 Sunbury Comprehensive Plan does not directly talk about this parcel or those around it. As this is the same use that existed when the plan was approved, and there are no recommendations for this area in the plan, I believe that the new site plan would be consistent with the 2016 Sunbury Comprehensive Plan.
7. On driveways and parking lot access roads, our zoning code states the following:
 - a. “Driveway and access road locations shall be approved by the City Engineer to ensure a suitable distance is provided from adjacent public streets and other driveways.”
With this, the right-in/right-out access off W Granville Street would be subject to engineering review per code, which would allow approval contingent on our engineering review of this access point.
8. Staff would recommend this commercial site plan for approval contingent on final engineering and stormwater. This site plan remains consistent with what currently exists on the parcel, while improving architectural quality and appearance, landscaping, pedestrian connectivity, and site arrangement.



Applicable Zoning Language

[Section S81.15.13 PLANNED INDUSTRIAL DISTRICT \(PID\)](#)

[Section S81.15.12 INDUSTRIAL DISTRICT \(I\)](#) (where applicable)

- 5. DEVELOPMENT STANDARDS
 - d) Building Set Back - Except for state and federal highways in this district, no building shall be closer than 65' to right of way line of adjacent street or road. In addition, there must be an allowance for green space to extend a minimum of 25' from right of way line of the adjacent street or road. For properties fronting on a state or federal highway in this district no building shall be closer than 100' to the right of way line of the adjacent state or federal highway. In addition, there must be an allowance for a green space to extend a minimum of 35' from right of way line of the adjacent state or federal highway.
 - e) Side yards - There shall be one side yard of the main building constructed in this district of not less than 20'. No accessory building, outdoor storage or parking shall be permitted in this area. This area shall be paved with a minimum of 8" of firmly packed crushed stone.
 - f) Rear yards - No building shall be located closer than 30' to the rear line of any building lot.

[Section S81.16.01 DEVELOPMENT STANDARDS](#)

- 2. DESIGN STANDARDS FOR OFF-STREET PARKING
 - c) Driveways and Parking Lot Access Roads
 - 3) All driveways and access roads shall be located and the adjoining lots graded so that vehicular traffic entering a public road has an unobstructed sight distance of at least three hundred (300) feet. A site distance analysis shall be performed at the request of the City Engineer.
 - f) Screening
 - 1) b) Screening for off-street parking on commercial and industrial areas that are adjacent to or visible from a public street shall be provided with shrubs, berms or walls having a minimum height of three (3) feet. Such landscaping and/or screening shall be located parallel to and within five (5) feet of the edge of the parking lot. Hedges and other landscape screening materials cannot exceed four (4) feet in height. The landscape border may be broken for necessary walkways, driveways, and sight distance areas.
- 3. SPECIFIC OFF-STREET PARKING REQUIREMENTS
 - 4) Retail and Service Uses
 - a) Retail and Service Establishment: 1 space per 200 square feet of floor area
 - 5) Automotive Uses
 - a) Gasoline Stations: 1 space for every 2 pumps, plus 1 space per employee



○ 23. ARCHITECTURAL REVIEW

○ B. Architectural Considerations

▪ 2. Industrial and Commercial

- c.) Building Materials- Exterior walls shall utilize natural materials on the sides facing a public street, visible from a public street, visible from a residential district for all Industrial Districts. All exterior walls of a building in any commercial district shall utilize natural materials. Acceptable natural materials include brick, wood, stone, cultured stone, architectural grade concrete block (i.e., split-face block), stucco, and efis or cementitious siding. No standard concrete block (split face block not prohibited) shall be permitted on the elevation facing a public street.